SHEET INDEX DESCRIPTION TITLE SHEET 2 SITE DEVELOPMENT PLAN 3 | SITE DEVELOPMENT PLAN SEDIMENT CONTROL PLAN AND DRAINAGE AREA HAP SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP NOTES AND DETAILS NOTES AND DETAILS LANDSCAPING PLAN 10 LANDSCAPING PLAN RETAINING WALL DETAILS

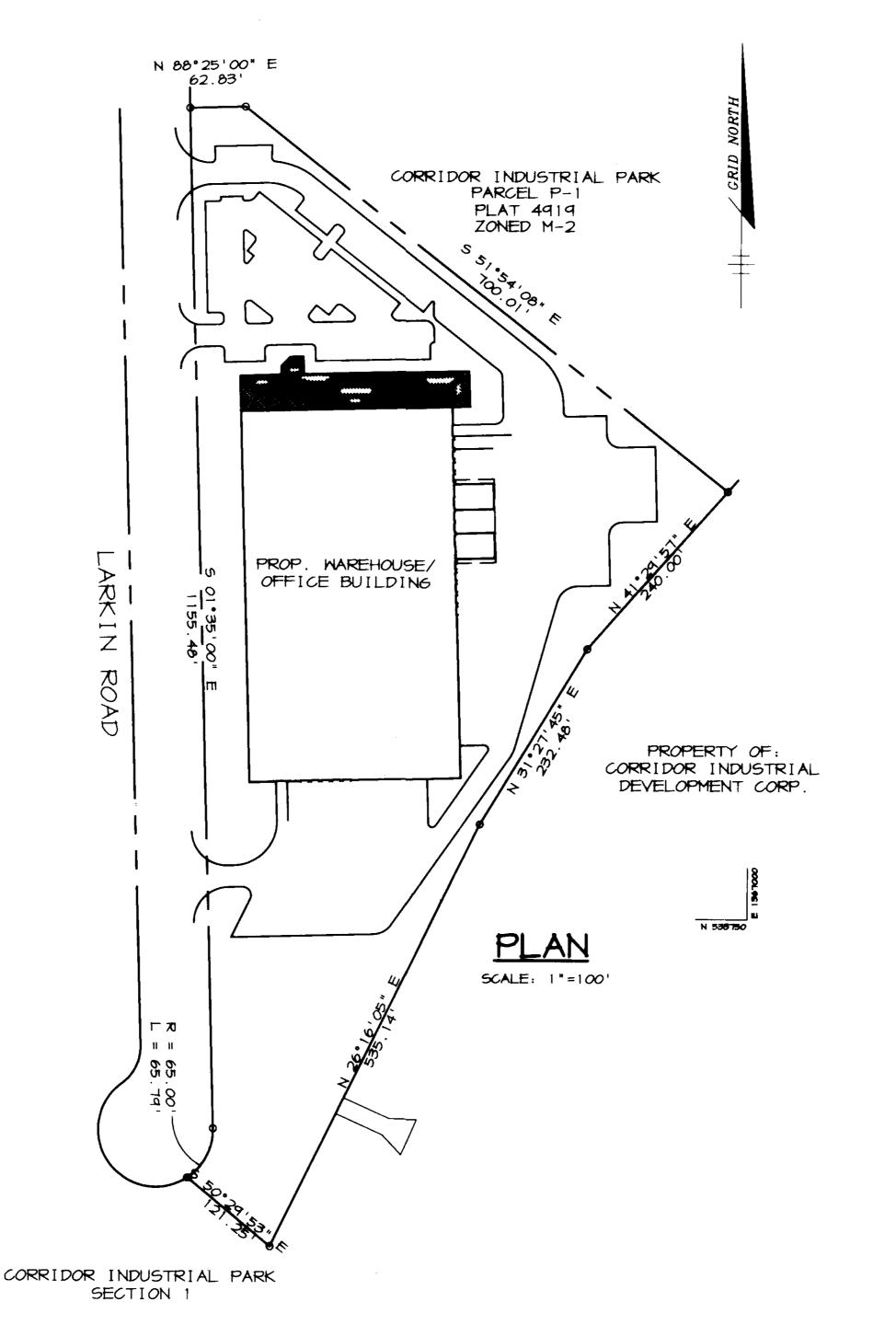
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUESGE DATED SEPTEMBER 1996.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY SEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 486A AND 4864 WERE USED FOR THIS PROJECT.
- MATER IS PUBLIC. CONTRACT NO. 44-3583-D.
- SEMER IS PUBLIC. SEMER DRAINAGE AREA: PATUXENT CONTRACT NO. 44-3583-D.
- THE STORMMATER MANAGEMENT FACILITY PROPOSED FOR THIS SITE IS AN EXTENDED DETENTION FACILITY, AND IS PRIVATELY MAINTAINED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE, EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THERE IS NO 100- YEAR FLOODPLAIN ON THIS SITE.
- THE METLANDS DELINEATION FOR THIS PROJECT IS BASED ON FIELD INVESTIGATION BY RIEMER MUESCE IN OCTOBER 1996.
- THERE IS NO TRAFFIC STUDY FOR THIS PROJECT
- THERE IS NO NOISE STUDY FOR THIS PROJECT.
- THE GEOTECHNICAL STUDY FOR STORMNATER MANAGEMENT FOR THIS PROJECT WAS PREPARED BY THE ROBERT B. BALTER COMPANY DATED OCTOBER 25, 1996.
- THE BOUNDARY SURVEY FOR THIS PROJECT IS BASED ON RECORD PLAT 4919.
- SUBJECT PROPERTY ZONED M-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND 6.S. MEAN SEA LEVEL DATUM, 1929
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S: F-75-57, F-61-150, 6P-74-65
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEGUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6"
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME I OF HOMARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT OF ELEVATIONS
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, 1.6., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO TIBO.

SITE DEVELOPMENT PLAN B. VON PARIS FACILITY

CORRIDOR INDUSTRIAL PARK PARCEL Q-1

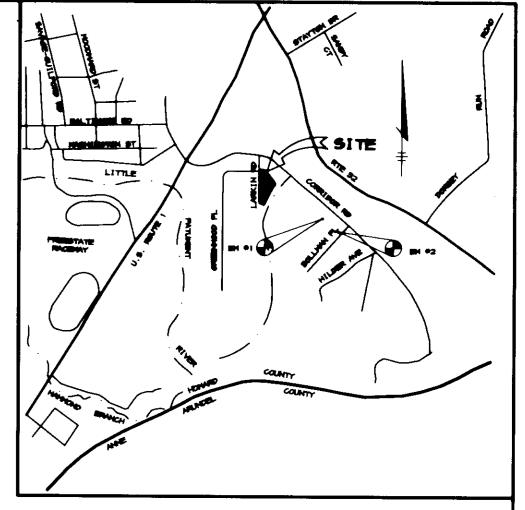
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



BENCHMARKS

BM #1 HO. CO. SURVEY CONTROL STATION: 486A N 532, 454.81 E 1,370,538.04

BM #2 HO. CO. SURVEY CONTROL STATION: 4864 N 531,514.25 E 1,371,653.76 ELEV. 206.756



VICINITY MAP

111,838 SF (2.56 ac) 27.9% OF SITE

SITE ANALYSIS

AREA OF PARCEL PRESENT ZONING

PROPOSED USE

BUILDING COVERAGE:

FOYER

WAREHOUSE 100,816 SF (2.31 ac)

9.18 ACRES

WAREHOUSE/OFFICE

630 SF (0.01 ac)

10,392 SF (0.24 ac)

WAREHOUSE # OF PARKING SPACES REQ'D:

● 0.5 SP. PER 1000 SF *

OF PARKING SPACES REQ'D:

● 3.3 SP. PER 1000 SF *

OF PARKING SPACES PROVIDED:

108 (Incl 5 hc) TRAILER LOADING BAYS

PAVED AREA

141,993 SF (3.26 ac) 35.5% OF SITE

* PER SECTION 133 OF HO. CO. ZONING REGULATIONS

OPERATION AND MAINTENANCE SCHEDULE OF PRIVATELY OWNED AND HAINTAINED STORMATER MANAGEMENT FACILITY EXTENDED DETENTION POND

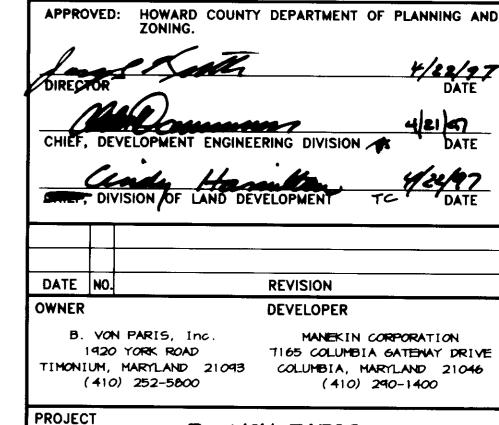
ROUTINE MAINTENANCE

- 1. Facility shall be inspected anually and after major storms. Inspections should be performed during met meather to determine if the pond is functioning properly.
- 2. Top and side slopes of the embankment shall be moved a minimum of two (2) times a year, once in June and once in September. Other side slopes, the bottom of the pond, and maintenance access should be moved as needed.
- 3. Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.
- 4. Visible signs of erosion in the pond as well as riprap outlet area shall be repaired as soon as it is noticed.

NON-ROUTINE MAINTENANCE

- 1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the the detection of any damage. The components should be inspected during routine maintenance operations.
- 2. Sediment should be removed when its accumulation significantly reduces the design storage, interfere with the function of the riser, when deemed necessary for aesthetic reasons, or when deemed necessary bythe Howard County's Department of Public

		Al	DDRESS	CHART	
	PARCEL STREET ADDRESS				
	Q-1		869	1 LARKIN ROAD	
SUBDIVISION HAME — CORREDO	R INDUSTRIAL	PARK	SECT./AREA -	PARCEL -	Q -1
4414	BLOCK # -	20MHC - M-2	TAX MAP NO	ELECT. DIST	CENSUS TRACT -
WATER COSE -	18, 13	m-2	SEWER CODE	6th	6069.01
	CO4	4020000			000



B. VON PARIS OFFICE/WAREHOUSE FACILITY

CORRIDOR INDUSTRIAL PARK, SECTION 1 PARCEL Q-1 ZONED M-2 TAX MAP 48, BLOCK 13 TAX MAP 47, BLOCK 18 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE SHEET

RIEMER MUEGGE & ASSOCIATES, INC

ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centre Park Drive, Columbia, Maryland 21045 tel 410.997.8900 fax 410.997.9282

DESIGNED #T: CJR DRAWN BY: RPP PROJECT NO: 96067 SDP1.DWG DATE: APRIL 4, 1997 SCALE: AS SHOWN

F-81-150

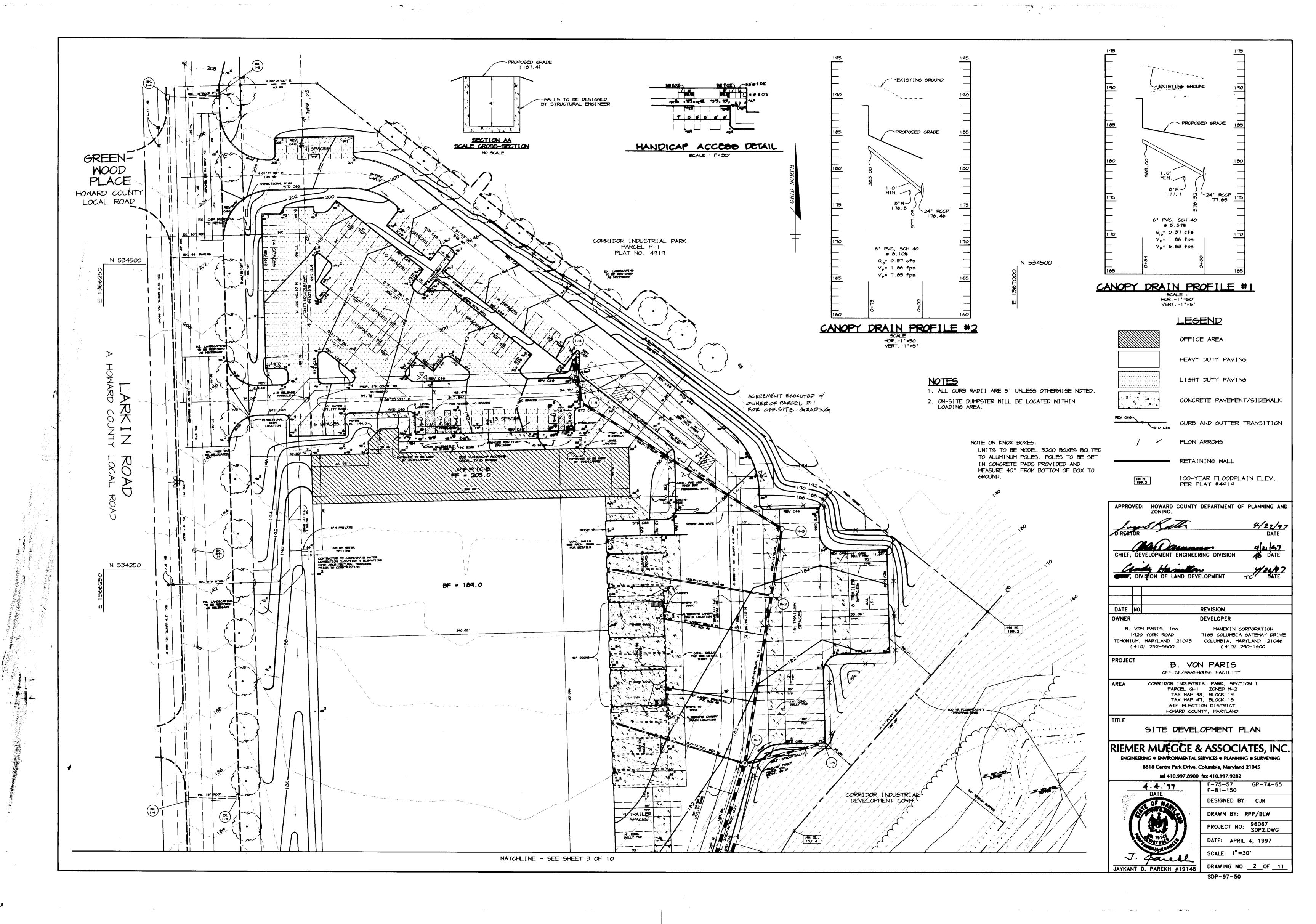
JAYKANT D. PAREKH #19148

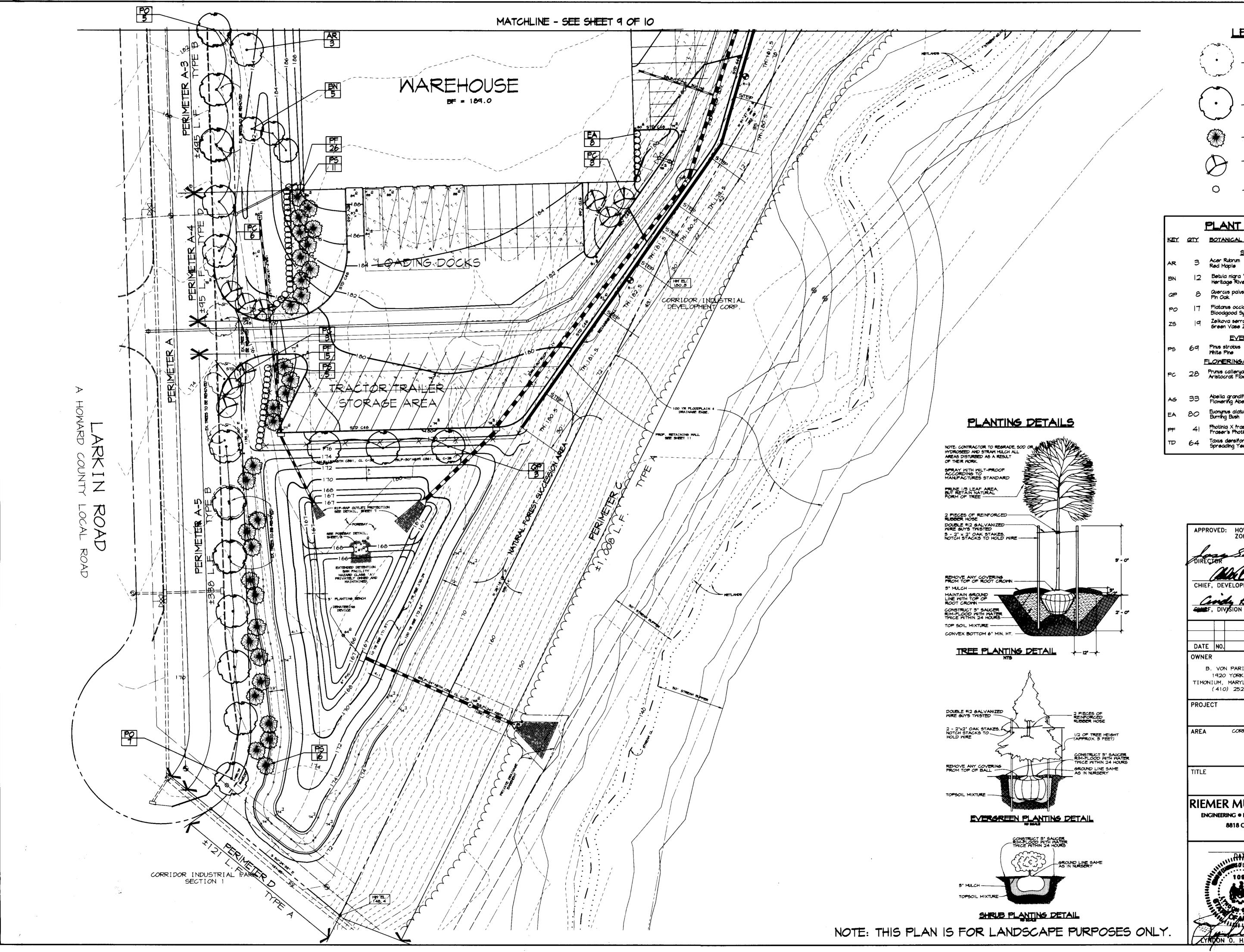
DRAWING NO. __1_OF __11 SDP-97-50

GP-74-65

BUILDING EAST ELEVATION NO SCALE

32





LEGEND

- EXISTING TREES

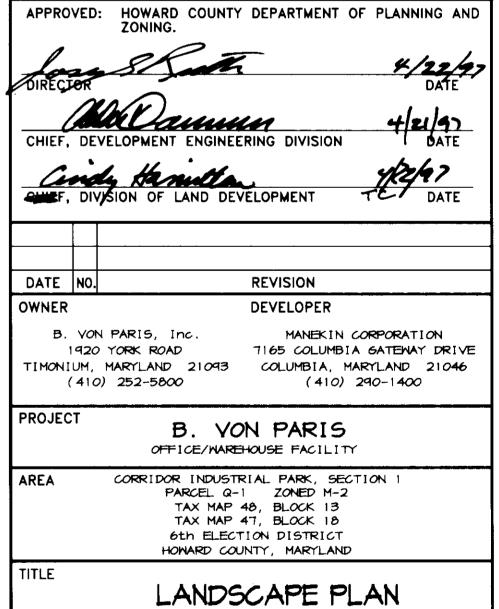
- PROPOSED SHADE TREE

- PROPOSED EVERGREEN TREE

PROPOSED ORNAMENTAL/ FLOWERING TREE

- PROPOSED SHRUB

PLANT MATERIAL LIST								
KEY	SIX	BOTANICAL + COMMON NAME	SIZE	REMARKS				
	SHADE TREES							
AR	3	Acer Rubrum Red Maple	2½" - 5" Cal. B # B	Full Crown Central Leader				
BN	12	Betula nigra 'Heritage' Heritage River Birch	2½" - 3" Cal. B # B	Specimen Muiti-stemmed				
QP	8	Quercus palustris Pin Oak	2½" - 3" Cal. B	Full Crown Central Leader				
P0	17	Platanus occidentalis 'Bloodgood' Bloodgood Sycamore	2½" - 3" Cal. B # B	Full Crown				
zs	19	Zelkova serrata 'Green Vase' Green Vase Zelkova	2½" - 3" Cal. B # B	Full Crown				
		EVERGREEN TREES						
PS	69	Pinus strobus White Pine	2"-2½" Cal. 6'-8' Ht.	Sheared Central Leader				
		<u>FLOWERING/ORNAMENTAL T</u>	REES					
PC	28	Prunus calleryana 'Aristocrat' Aristocrat Flowering Pear	½" - 2" Cal. 日 & 日	Full crown				
		<u>SHRUBS</u>						
AG	33	Abelia grandifolia Flonering Abelia	2½' - 5' Ht. B # B	36 " O.C.				
EA	80	Evonumus alatus Burning Bush	2½' - 5' Ht. B 4 B	36 " O.C.				
PF	41	Photinia X fraserii Fraser's Photinia	2½' - 5' Ht. 日 4 日	50 * 0.C.				
TD	64	Taxus densiformis Spreading Yen	2½' - 5' Ht. B # B	42" O.C.				



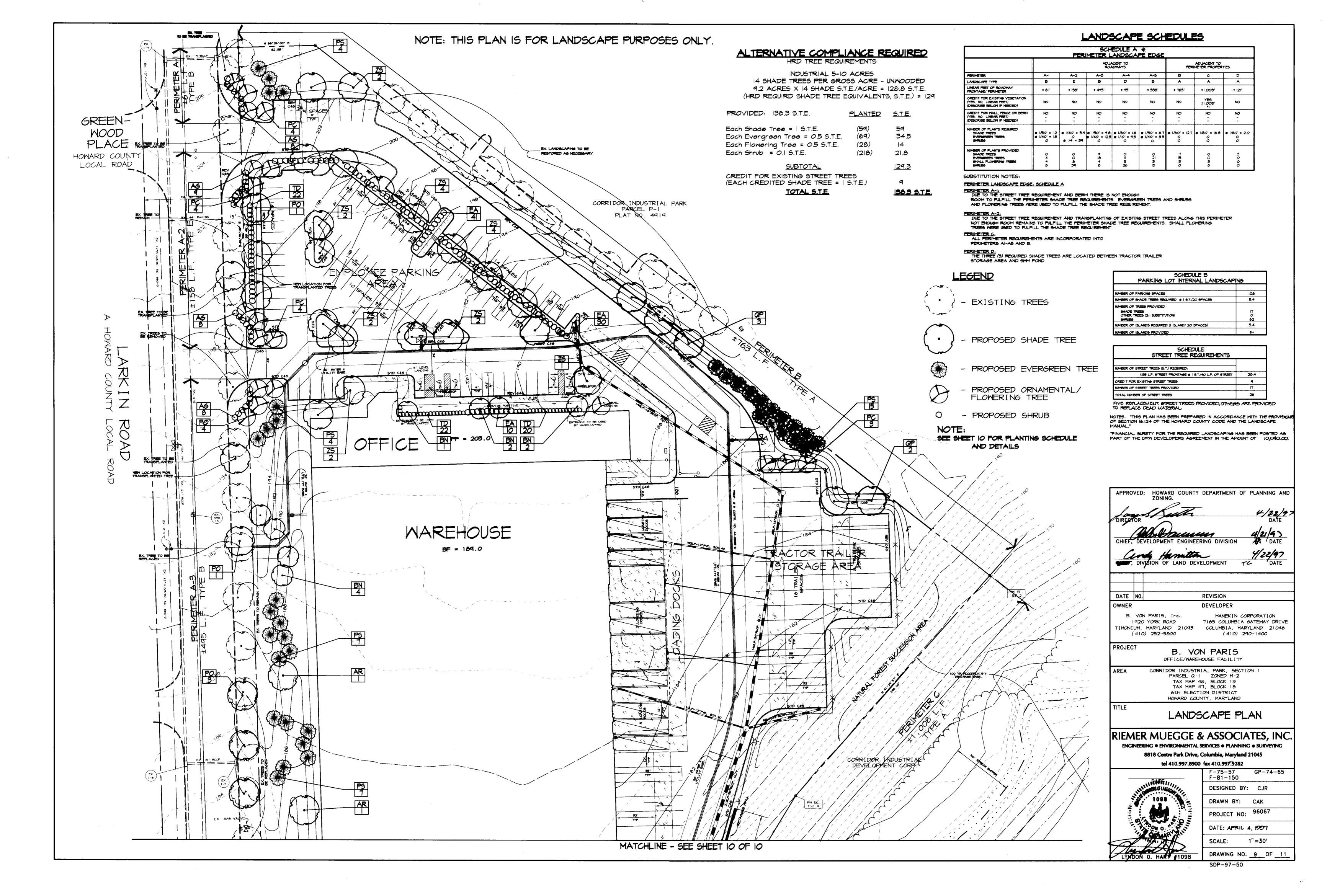
RIEMER MUEGGE & ASSOCIATES, INC. ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING

8818 Centre Park Drive, Columbia, Maryland 21045 tel 410.997.8900 fax 410.997.9282



/ IBA 7 (V.) J. / J. / LVL
F-75-57 GP-74-65 F-81-150
DESIGNED BY: CJR
DRAWN BY: CAK
PROJECT NO: 96067 SDP3.DWG
DATE: APRIL 4, 1997
SCALE: 1"=30'

DRAWING NO. 10 OF 11 SDP-97-50



Material — The fill material shall be taken from approved designated borrow 6", frozen or other objectionable material. Fill material for the center of the embankment and cut off trench shall conform to Unified Soll Classification G SC, CH, or CL. Consideration may be given to the use of other materials in the embankment if design and construction are supervised by a geotechnical engineer.

Placement — Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8—inch thick before compaction) layers which are to be continuous over the entire length a the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment

Compaction — The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tire or vibratory roller. Fill material shall contain sufficient moisture such that the equired degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble yet not be so wet that water can be squeezed out.

Where a minimum required density is specified, it shall not be less than 95% of maximum dry density with a moisture content within +/- 2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99.

Cutoff Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter.

The back fill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacte by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure

PIPE CONDUITS

All pipes shall be circular in cross section.

Reinforced Concrete Pipe — All of the following criteria shall apply for reinforced concrete pipe:

Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM Designation C-361. An approved equivalent is AWWA Specification C-302.

Bedding — All reinforced concrete pipe conduits shall be laid in a concrete bedding for their entire length. This bedding shall consist of high slump concrete placed under the pipe and up the side of the pipe at least 10% of the drawings.

Laying pipe — Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 2 feet

4. Backfilling shall conform to Structure Backfill.

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the

CONCRETE

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 608, Mix No. 3.

All rock shall be dense, sound, and free from cracks, seams, and other defects conducive to accelerated weathering. The rock fragments shall be angular to subrounded in shape. The least dimension of an individual rock fragment shall be not less than one—third the greatest dimension of the fragment.

The rock shall have the following properties: Bulk specific gravity (saturated surface—dry basis) not less than 2.5.

Absorption not more than three percent. Soundness: Weight loss in five cycles not more than 20 percent when sodium

Bulk specific gravity and absorption shall be determined according to ASTM C 127. The test for soundness shall be performed according to ASTM C 88.

The riprop shall be placed to the required thickness in one operation. The rock shall be delivered and placed in a manner that will insure the riprop in place shall be reasonably homogeneous with the larger rocks uniformly distributed and firmly in contact one to another with the smaller rocks filling the voids

between the larger rocks. Filter cloth shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 919.12.

CARE OF WATER DURING CONSTRUCTION

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from the various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water to sumps from which the water shall be pumped.

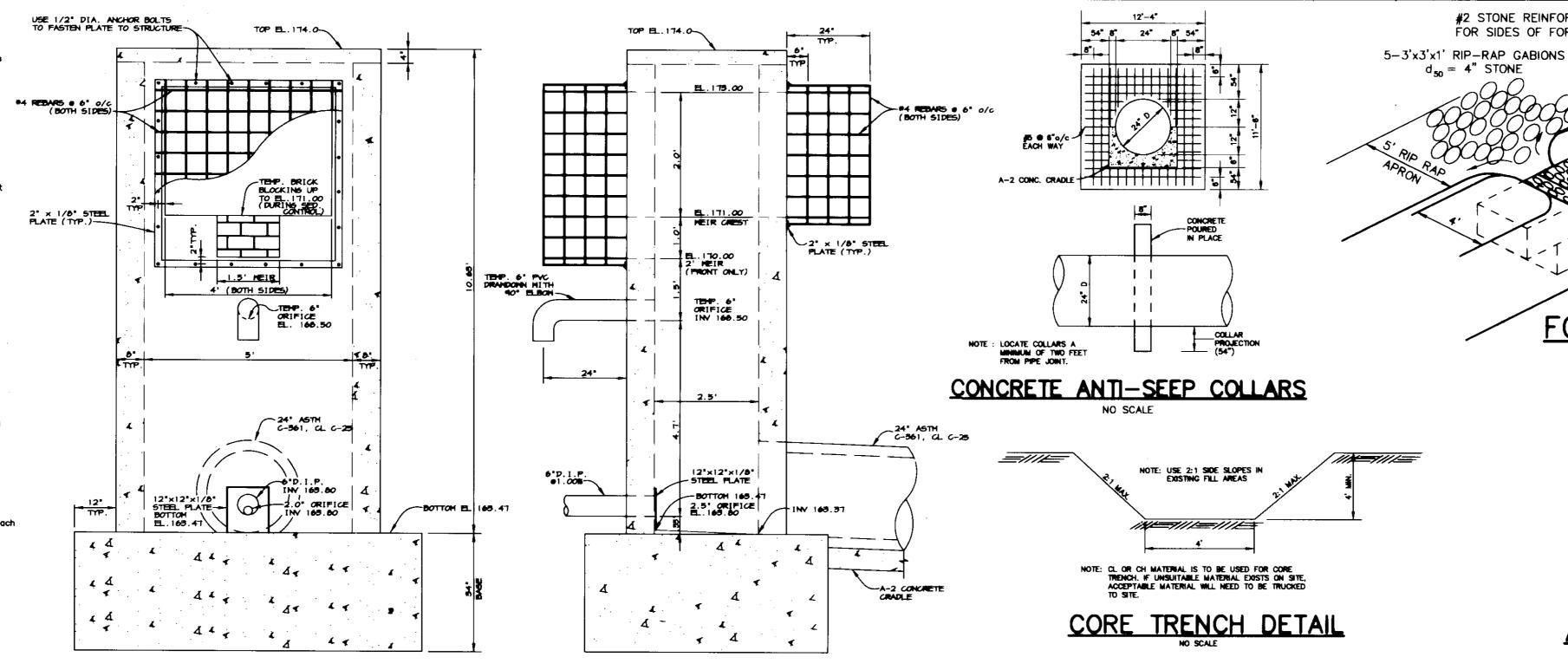
STABILIZATION

All borrow areas shall be graded to provide proper drainage and left in a sightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and borros shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Maryland Soil Conservation Service Standards and Specifications for Critical Area Planting (MD—342) or as shown on the accompanying drawings.

EROSION AND SEDIMENT CONTROL

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



S-1 DETAIL

. OTHER THAN THE MODIFICATIONS SHOWN HERE, THIS STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH HO, CO. STD. DETAIL 5D 4.01, HOMEVER A BRICK STRUCTURE IS NOT ALLOWED.

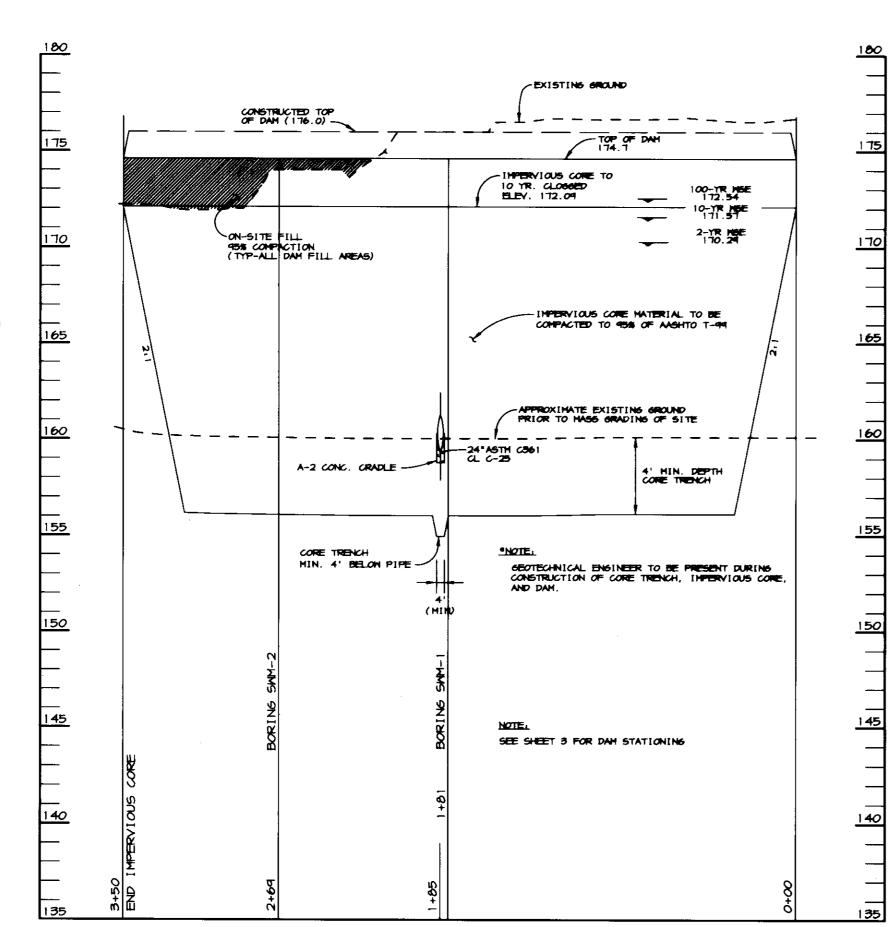
2. SHOP DRAWINGS TO BE SUBMITTED TO HOWARD COUNTY AND CONSULTANT PRIOR TO FABRICATION.

3. WEIR AT EL. 170.0 TO BE TEMPORARILY BLOCKED WITH BRICK DURING SEDIMENT CONTROL OPERATIONS.

4. GALVANIZE RACK AFTER FABRICATION AND PAINT BATTLESHIP GRAY.

OPERATION. MAINTENANCE AND INSPECTION

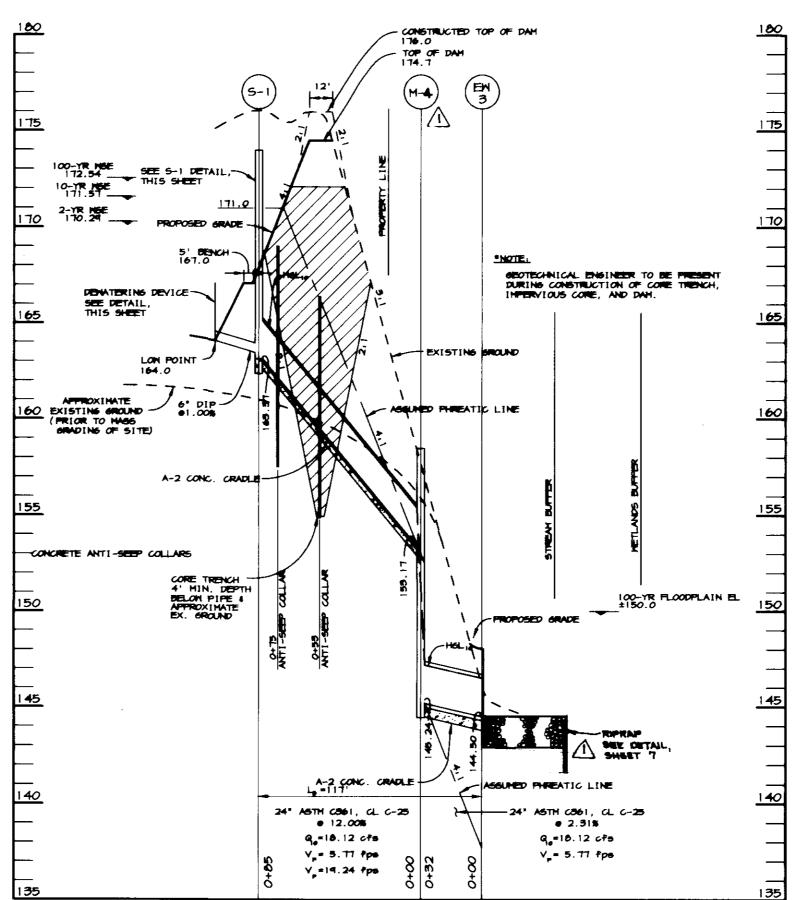
INSPECTION OF THE POND SHOWN HEREON SHALL BE PERFORMED AT LEAST ONCE ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS (MD378). THE POND ONNER AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAPETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF, THE POND OWNER SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.



PROFILE OF & EMBANKMENT HOR. -1 "=50"

VERT. -1"=5"

TRUCTURE	TYPE	LOCATION		N. TOP RIH/ JT CURB	STANDARD DETAIL
I-1	A-5	N 555, 731.17 E 1,566,572.25	170.57 167	.75 174.1	HOCO SD 4.01
1-2	4' NIDE DEL S/N RETICULAR GRATE	N 535,407.78 E 1,366,711.44	172.75 172	1.65 177.6	HOCO SD 4.25,4.45 PROVIDE 4' MIDTH STANDARD LENGTH
I-5	A-5	N 534,404.80 E 1,566,640.46	185.05 184	.80 186.4	HOCO SD 4.01
1-4	A-5	N 534,444. 10 E 1,566,684.56	- 185	.75 184.6	HOCO 50 4.01
I- 5	A-5	N 554, 127.74 £ 1,566,884.71	- 176	.50 180.60	HOCO 50 4.01
I- 6	A-5	N 555,726.86 E 1,566,416.55	171.01 167	.56 177.6	HOCO 50 4.01
1-7	D	N 555,862.35 E 1,966,401.04	- 1 15	.75 180.0	HOCO 50 4.11
H -1	5' MH	N 554,110.46 E 1,566,776.54	174.00(121) 175.85(181) 175.55(241)	192.1	H0C0 6 5.13
H-2	4' HH	N 554,248.26 E 1,566,748.24	174.56(12°) 178 178.86(18°)	.36 185.7	H0C0 6 5.12
H-3	41 MH	N 554,502.71 E 1,566,806.86	181.20 181	.10 184.7	HOCO 6 5.12
H-4	4' 161	N 555,524.74 E 1,566,555.19	153.17 146	.52 156.0	HOCO 6 5.12
29 (-1	30°END SECTION	N 599,676.81 E 1,566,514.86	167.00	- 164.5	HOCO SD 5.51
BN-2	18°END SECTION	N 539,674.77 E 1,566,440.15	167.00	160.5	H000 SD 5.51
51 -3	24"TYPE A HEADWALL	N 555,514.47 E 1,566,586.40	145.00	140.5	Hoco Sp 5.11
5 -1	MODIFIED A-5	N 555,564.25 E 1,566,475.64	165.60 165	.57 175.0	HOCO 50 4.01



PRINCIPLE SPILLWAY PROFILE HOR. -1"=50"

STRUCTURE SCHEDULE

						
KTURE	TYPE	LOCATION	INV. IN	INV.	TOP RIM/	STANDARD DETAIL
I-1	A-5	N 555,731.17 E 1,566,572.25	170.57	167.75	174.1	HOCO 50 4.01
2	4' NIDE DEL S/N RETICULAR GRATE	N 585,407.76 E 1,966,711.44	172.75	172.65	177.6	HOCO SD 4.25,4.45 PROVIDE 4' HIDTH STANDARD LENGTH
-5	A-5	N 534, 404.80 E 1,566,640.46	185.05	184.80	186.4	HOCO 50 4.01
-4	A-5	N 534,444. 10 E 1,566,684.56	-	185.75	184.6	HOCO 90 4.01
I -5	A-5	N 534, 127.74 E 1,566,854.71	-	176.50	180.60	HOCO SD 4.01
(-6	A-5	N 555, 726.86 E 1,566,416.95	171.01	167.56	177.6	HOCO 50 4.01
1-7	D	N 555,862.35 E 1,566,401.04	-	175.75	180.0	HOCO 50 4.11
M- 1	5' HH	N 534, 110.46 E 1,366,776.54	174.00(121) 175.85(181) 175.55(241)		182.1	HOCO 6 5.13
1-2	4' HH	N 554,246.26 E 1,566,746.24	174.56(12°) 178.86(18°)		195.7	H0C0 6 5.12
1-3	4' MH	N 554,302.71 E 1,566,806.88	181.20	181.10	184.7	H0C0 6 5.12
1-4	4' 141	N 595,524.74 E 1,566,555.19	155.17	145.52	158.0	H000 6 5.12
34 -1	SECTION	N 599,676.81 E 1,566,514.86	167.00	-	164.5	HOCO SD 5.51
N-2	18°END SECTION	N 533,674.77 E 1,566,440.13	167.00	-	160.5	HOCO SD 5.51
H-3	24"TYPE A HEADWALL	N 555,514.47 E 1,566,586.40	145.00	-	140.5	HOCO SD 5.11
5-1	MODIFIED A-5	N 555,564.25 E 1,566,475.64	165.50	165.57	175.0	HOCO 50 4.01
	<u> </u>					l .

DETAIL 20A - REMOVABLE PUMPING STATION ---ANTICIPATED WATER
SUMFACE ELEV. 300 PERFORATED 48" PIP WRAPPED WITH 1/2" LWEIGHT AS NECESSARY TO PREVENT FLOATATION OF CENTER PIPE ELEVATION 1. The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hordware cloth to prevent backfill material from entering the perforations. 2. After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.

FOREBAY DETAIL

SHA MIX #3 CONCRETE

CLASS 'A' DAMS LESS THAN 50' HIGH

A-2 CONCRETE CRADLE

#2 STONE REINFORCEMENT

FOR SIDES OF FOREBAY WEIR -

4. The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser creat elevation when dewatering a hasin

PAGE MARYLAND DEPARTMENT OF ENVIRONMENT
D - 12 - 4 WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE DETAIL 33 - SUPER SILT FENCE NOTE: FENCE POST SPACING SHALL NOT EXCEED 10' CENTER TO CENTER 10' MAXIMUM 34" HINIMUM 36" MINIMUM FLOV CHAIN LINK FENCINE FILTER CLOTH 34° MINIMUM EMBED FILTER CLOTH 8'-I STANDARD SYMBOL MIF MULTIPLE LAYERS ARE REQUIRED TO ATTAIN 42" Construction Specifications . Fencing shall be 42' in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42' fabric and 6' length 2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not 3. Filter cloth shall be fastened securely to the chain link fence with ties spaced 4. Filter cloth shall be embedded a minimum of 8° into the ground.

develop in the silt fence, or when silt reaches 50% of fence height 7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class Fr Tensile Strength 20 lbs/in (nin.) Tensile Modulus 8.3 gal/ft*/minute (max.) Filtering Efficiency 75% (min.)

5. When two sections of filter cloth adjoin each other, they shall be overlapped

6. Maintenance shall be performed as needed and silt buildups removed when "bulges"

by 6' and folded.

Test: MSMT 322 PAGE MARYLAND DEPARTMENT OF ENVIRONMENT
H - 26 - 3 WATER MANAGEMENT ADMINISTRATION SOIL CONSERVATION SERVICE

BY THE DEVELOPER : I/WE CERTIFY THAT ALL VEVELOP WILL BE DONE ACCORDING TO RESPONSIBLE PERSONNEL INVOLVE PROJECT WILL HAVE A CENTIFICATION DEPARTMENT OF THE PROGRAM FOR THE CONTROL BEFORE BEGINNING THE PROJECT PROJECT PROFESSIONAL ENGINEER CONSTRUCTION AND PROPIDE TO DISTRICT WITH AN "AS-CALL" PUBLIC THE POND WITHIN 30 DAYS OF COMPLETION. EALSO AN HORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT. 4.497

BY THE ENGINEER :

DEVELOPER

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

4.4.97

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS

OF THE HOWARD SOIL CONSERVATION DISTRICT. HOWARD SOIL CONSERVATION DISTRICT

HOWARD COUNTY DEPARTMENT OF PLANNING AND

CHIEF. DEVELOPMENT ENGINEERING DIVISION

G/19/97 A CHANGED MH * FROM M-8 TO M-4, LENGTHENED DATE NO. REVISION OWNER DEVELOPER B. VON PARIS, Inc. MANEKIN CORPORATION

PROJECT B. YON PARIS OFFICE/WAREHOUSE FACILITY

1920 YORK ROAD

(410) 252-5800

TIMONIUM, MARYLAND 21095

CORRIDOR INDUSTRIAL PARK, SECTION 1 PARCEL Q-1 ZONED M-2 TAX MAP 48, BLOCK 13 TAX MAP 47, BLOCK 18 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE NOTES AND DETAILS

RIEMER MUEGGE & ASSOCIATES, INC ENGINEERING ● ENVIRONMENTAL SERVICES ● PLANNING ● SURVEYING 8818 Centre Park Drive, Columbia, Maryland 21045

4.4.9 DATE

tel 410.997.8900 fax 410.997.9282 GP-74-65 F-75-57 F-81-150 DESIGNED BY: CJR DRAWN BY: RPP/BLW PROJECT NO: 96067 SDP8.DWG DATE: APRIL 4, 1997 SCALE: AS SHOWN DRAWING NO. 8 OF 11 JAYKANT D. PAREKH #19148

7165 COLUMBIA GATENAY DRIVE

COLUMBIA, MARYLAND 21046

(410) 290-1400

SDP-97-50

SEDIMENT CONTROL NOTES

- . A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (313-1855)
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THERETO.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A)7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL SEDIMENT TRAPS/BASING SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7. SITE ANALYSIS:

TOTAL AREA OF SITE AREA DISTURBED AREA TO BE ROOFED OR PAVED AREA TO BE VEGETATIVELY STABILIZED TOTAL OUT

A 10.93 ACRES W 10.75 ACRES 6.0 ACRES

TOTAL FILL BORROW/WASTE SITE

14.79 ACRES~ 40,000 CU. YARDS 1 26,000 CU. YARDS ~ TO BE DETERMINED PRIOR TO CONSTRUCTION SITE MUST HAVE AN ACTIVE GRADING PERMIT

- 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF
- 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- 11. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY
- 13. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 14. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE MORKING DAY, WHICHEVER IS SHORTER.

TEMPORARY SEEDING NOTES

short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

Soll Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.)

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru Fébruary 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

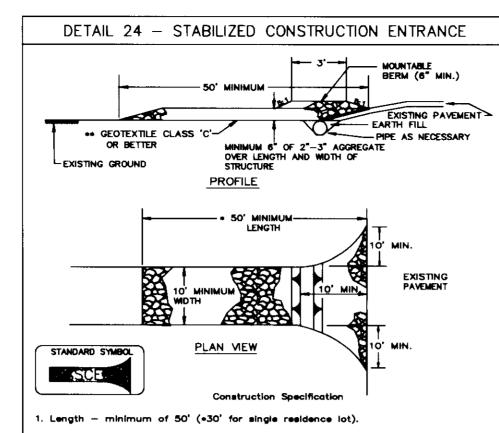
- Preferred Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.).
- 2) Acceptable Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following opt1ons

- 1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
- 3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs, per 1000 sq.ft.) of unrotted small grain straw immediately after seeding.
Anchor mulch immediately after application using mulch anchoring tool
or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on
flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Maintenance: inspect all seeded areas and make needed repairs, replacements and reseedings.

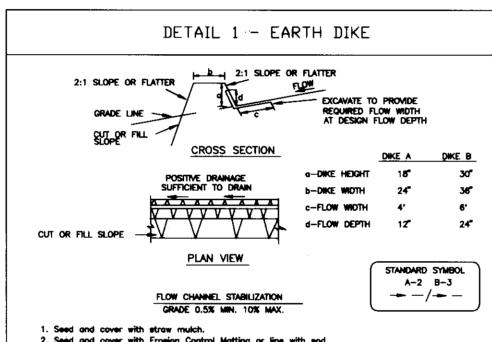


. Geotextile fabric (filter cloth) shall be placed over the existing ground prior

. Stone — crushed aggregate (2" to 3") or reclaimed or recycled concrete

entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

Location — A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



2. Seed and cover with Erosian Control Matting or line with sad. 7" stone or recycled concrete equivalent pressed into

1. All temporary earth dikes shall have uninterrupted positive 2. Runoff diverted from a disturbed area shall be conveyed to a sediment

3. Runoff diverted from an undisturbed area shall outlet directly into an

4. All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of so as not to interfere with the proper

5. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections

or other irregularities which will impede normal flow. 6. Fill shall be compacted by earth moving equipment.

7. All earth removed and not needed for construction shall be placed so that

it will not interfere with the functioning of the dike. 5. Inspection and maintenance must be provided periodically and after

MARYLAND DEPARTMENT OF ENVIRONMENT

DETAIL 22 - SILT FENCE - 36" MINIMUM LENGTH FENCE POS' 36" MINIMUM FENCE POST LENGTH PERSPECTIVE MEW CLOTH -FENCE POST SECTION MINIMUM 20" ABOVE GROUND EMBED GEOTEXTILE CLASS F - A MINIMUM OF 8" VERTICALLY - FENCE POST DRIVEN A STANDARD SYMBOL STAPLE JOINING TWO ADJACENT SILT FENCE SECTIONS

. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be $11/2^n \times 11/2^n$ square (minimum) out, or $13/4^n$ diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pand per linear foo 2. Geotextile shall be fastened securely to each fence post with wire ties

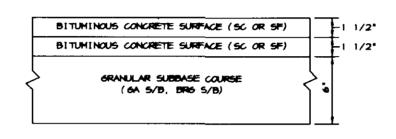
Test: MSMT 509 50 lbs/in (min.) 20 lba/în (mln.) Test: MSMT 509 0.3 gal ft // minute (max.) Test: MSMT 322

Where ends of geotextile fabric come together, they shall be overlapped,

4. Silt Fence shall be inspected after each rainfall event and maintained when MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION SOIL CONSERVATION SERVICE

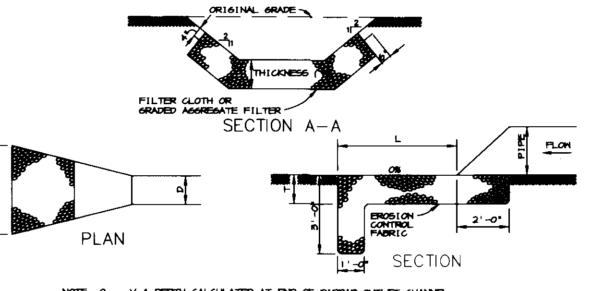
SEQUENCE OF CONSTRUCTION

- . OBTAIN GRADING PERMIT
- 2. INSTALL STABILIZED CONSTRUCTION ENTRANCES, SEDIMENT BASIN NO.1, AND SILT FENCE. (2 WEEKS)
- INSTALL STORM DRAINS EN-2 TO I-6 AND EN-1 TO M-1 AND EARTH DIKES. NO ROUGH GRADING IS TO TAKE PLACE UNTIL SPECIFIED PIPES AND DIKES ARE
- 4. WITH PERMISSION OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR PERFORM ROUGH GRADING. OBTAIN BUILDING PERMIT AND BEGIN BUILDING AND WALL CONSTRUCTION. (3 WEEKS)
- 5. AS SUBGRADE ELEVATION IS REACHED, INSTALL UTILITIES INCLUDING STORM DRAIN, WATER AND SEMER. (4 MEEKS)
- 6. INSTALL CURB AND GUTTER AND THEN PAVE. (3 WEEKS)
- 7. APPLY TOPSOIL AND STABILIZE DISTURBED AREAS AS NECESSARY IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (3 DAYS)
- 8. INSTALL LANDSCAPING AND COMPLETE REMAINING CONSTRUCTION. (3 WEEKS)
- 9. UPON APPROVAL OF DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS SED. CONTROL INSPECTOR, REMOVE REMAINING SED. CONTROL
- DEVICES AND CONVERT BASIN TO PERMANENT SHIMF IN THE FOLLOWING STEPS
- CLEAN STORM DRAIN INLETS AND FLUSH OUT PIPES. PUMP OUT STANDING WATER IN BASIN USING PUMP STATION.
- REMOVE ACCUMULATED SEDIMENT. COMPLETE GRADING AND INSTALL FOREBAY AS PER SHEET 3. REPAIR DENATERING DEVICE AS NECESSARY.
- REMOVE BRICK BLOCKING OF WEIR AT 170.0. REMOVE DRAWDOWN PIPE AND PERMANENTLY BLOCK 6" ORIFICE . 163.8.
- STABILIZE REMAINING AREAS IN ACCORDANCE WITH PERMANENT



LIGHT DUTY PAVING

PRAP TO BE EMBEDDED IN PROPOSED TRANSITION SECTION



NOTE: Q ₁₀ , V 4 DEPTH CALCULATED AT END OF RIPRAP OUTLET CHANNEL.								
TRUCTURE	MEDIAN STONE DIA.	LENGTH (L)	NIDTH (N)	THICKNESS (T)	a ₁₀	٧	⊅EP TH	REMARKS
⊟ ₩-1	4.5"	25'	12'	14'	42.9 645	8.7 fps	0.8	CL I STONE
DN -2	4.5"	10'	7'	14"	2.7 cfs	4.6 fps	0.2	CL I STONE
BN-3	4.5"	∧ 44 '	A 42.5	14"	21.2 cfs	7.5 fos	2.0	CL I STONE

RIPRAP OUTLET PROTECTION DETAIL

21.0 STANDARD AND SPECIFICATION

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture

Conditions Where Prostice Applies

c. The original soil to be vegetated contains material toxic to plant growth.

d. The soil is so acidic that treatment with limestone is not feasible.

II. Topecil Specifications - Soil to be used as topecil must meet the following:

For sites having disturbed areas under 5 acres

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth, b. The soil material is so shallow that the rooting zone is not deep enough to support plants or

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require

Construction and Naterial Specifications

found in the representative soil profile section in the Soil Survey published by USDA-565 in cooperation with Maryland Agricultural Experimentation Station.

special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be

solls may be used if recommended by an agronomist or soll scientist and approved by the

fragments, gravel, sticks, roots, trash, or other materials larger than 1½ in diameter.

III. Where subsoil is either highly acidic or composed of heavy claus, ground (insetone shall be

in conjunction with tiliage operations as described in the following procedures.

1. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vecetative

Stabilization - Section I - Vegetative Stabilization Methods and Naterials

appropriate approval authority. Regardless, topsoil shall not be a sixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse

1. Topsoli must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass,

spread at the rate of 4-8 tans/acre (200-400 pounds per 1,000 square feet) prior to the placement

of topsoil. Line shall be distributed uniformly over designated areas and worked into the soil

I. This practice is limited to areas having 2:1 or flatter slopes where:

III. For sites having disturbed areas over 5 acres

ELEV: 177 0'-

ELEV: 175 0'-

REDDISH BROWN AND GRAY MOIST

CLAY AND SILT, LITTLE MF SAND (FILL)

REDDISH BROWN MOIST SILT AND CLAY,

REDDISH BROWN MOIST CLAY AND SILT,

LITTLE MF SAND (FILL)

LITTLE MF SAND (FILL)

AT COMPLETION OF BORING.

LITTLE MF SAND (FILL)

LITTLE MF SAND (FILL)

LITTLE MF SAND (FILL)

AT COMPLETION OF BORING.

HOLE DRY AND CAVED AT 10.2'

BORING SWM-2

SAND (FILL)

HOLE DRY AND CAVED AT 9.8'

BORING SWM-1

REDDISH BROWN MOIST CLAY AND SILT,

GRAY MOIST CLAY AND SILT AND FINE

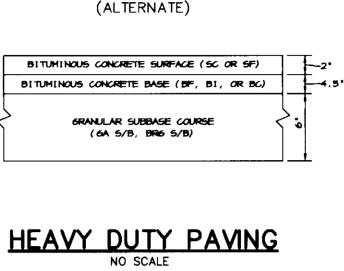
REDDISH BROWN MOIST CLAY AND SILT,

REDDISH BROWN MOIST CLAY AND SILT,

- 1. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime
- b. Organic content of topeoil shall be not less than 1.5 percent by relight.
- d. No sod on seed shall be placed on soll which has been treated with soil sterillants on
- Stabilization Section I Vegetative Stabilization Nethods and Materials
- - Grade Stabilization Structures, Earth Pikes, Signe Silt Pence and Sediment Trape and Basins. 11. érades on the areas to be topsolied, which have been previously established, shall be
 - [ii. Topso!] shall be uniformly distributed in a 4° 8° layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sadding or seeding can proceed with a minimum of additional boil preparation and tillage. Any irregularities in the
 - the subsoil is excessively net or in a condition that may otherwise be detrimental to proper

- a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the
- he appropriate constituents must be added to meet the requirements prior to use c. Composted sjudge shall be applied at a rate of 1 ton/1,000 square feet.
- iquare feet, and 1/5 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. HD-VA, Pub. #1, Cooperative Extension Service, University of Haryland and Vinginia Polytechnic Institutes. Revised 1978.

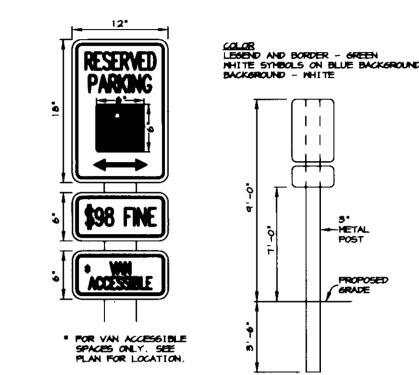


BITUMINOUS CONCRETE SURFACE (SC OR SF)

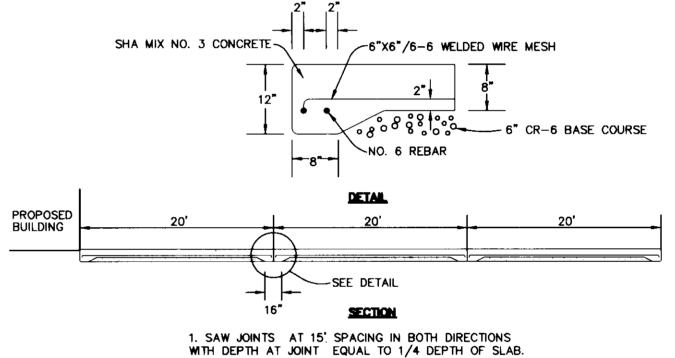
BITUMINOUS CONCRETE BASE (BF OR BI)

GRANULAR SUBBASE COURSE

(6A 5/B, BR6 5/B)



DISTANCE PROM GROUND TO BOTTOM OF SIGN TO BE 7'. HANDICAP SIGN DETAIL



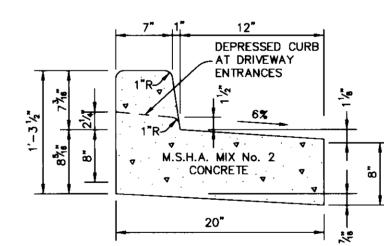
2. CONSTRUCTION JOINTS AS NEEDED, USING 3/4" DIA. SMOOTH DOWELS COATED TO PREVENT BOND 12" O/C (MAX) WITH SMOOTH CUT EDGE. DOWEL EXTENDS 8" INTO CONCRETE

CONCRETE SECTION FOR TRUCK LOADING AREA & DOLLY PADS

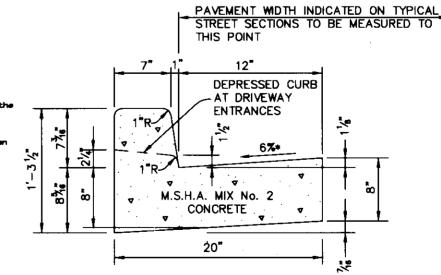
- amendments required to bring the soil into compliance with the following: a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less
- c. Topsoil having soluble sait content greater than 500 parts per million shall not be used
- chemicals used for need control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

Note: Topsoil substitutes to amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority may be used in lieu of natural topsoil

- 11. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative
- - When tages of line, waintain needed erosion and sediment control practices such as diversions.
 - surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or nater pockets.
- Iv. Topacti shall not be placed while the topacti or subscil is in a frozen or muddy condition, when
- VI. Alternative for Permanent Seeding Instead of applying the full amounts of line and commercial fertilizer, composted sludge and amendments may be applied as specified below:
- . Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for site having disturbed areas under 5 acres shall conform to the following requirements:
- c. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent patametum and have a pH of 7.0 to 8.0. If compost does not meet these requirements,
- d. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000



REVERSE 7" COMBINATION **CURB AND GUTTER**



HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01).

GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE

AS THE PAVEMENT.

STANDARD 7" COMBINATION **CURB AND GUTTER**

NO SCALE

5' WIDE UNLESS OTHERWISE NOTED _ 2% -4" CRUSHED AGGREGAT COMPACTED SUBGRADE

5.H.A. MIX NO. 2 CONCRETE, STIFF BROOM FINISH. REMOVE EDGEING TOOL MARKS IN

PROVIDE LATITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.) PROVIDE CONTRACTION (DUMMY) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS. SIDENALK TO BE SCRIBED IN

SIDEWALK DETAIL

NOTES :

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. | SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION

INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT DATE

DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30

BAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE

BY THE ENGINEER:

CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD

SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF

4.4.97

THE POND WITHIN 30 DAYS OF COMPLETION.

EROSION AND SEDIMENT CONTROL.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL

THESE PLANS FOR SMALL POND CONSTRUCTION. SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS

OF THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD SOIL CONSERVATION DISTRICT

HOWARD COUNTY DEPARTMENT OF PLANNING AND

CHIEF, DEVELOPMENT ENGINEERING DIVISION

, DIVISION OF LAND DEVELOPMENT MODIFIED SITE ANALYSIS TABLE & SOME SIZES IN RIPRAP OUTLET PROT. DET BOX. DATE NO. **REVISION**

DEVELOPER VON PARIS, Inc. MANEKIN CORPORATION 7165 COLUMBIA GATEMAY DRIVE COLUMBIA, MARYLAND 21046 TIMONIUM, MARYLAND 21093

B. VON PARIS OFFICE/WAREHOUSE FACILITY

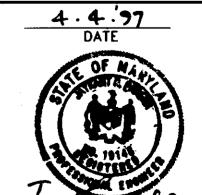
(410) 252-5800

CORRIDOR INDUSTRIAL PARK, SECTION 1 PARCEL Q-1 ZONED M-2 TAX MAP 48, BLOCK 13 TAX MAP 47, BLOCK 18 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

NOTES AND DETAILS

RIEMER MUEGGE & ASSOCIATES, INC ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centre Park Drive, Columbia, Maryland 21045

tel 410.997.8900 fax 410.997.9282



F-81-150 DESIGNED BY: CJR

DRAWN BY: RPP/BLW 96067 SDP7.DWG PROJECT NO: DATE: APRIL 4, 1997 SCALE: AS SHOWN

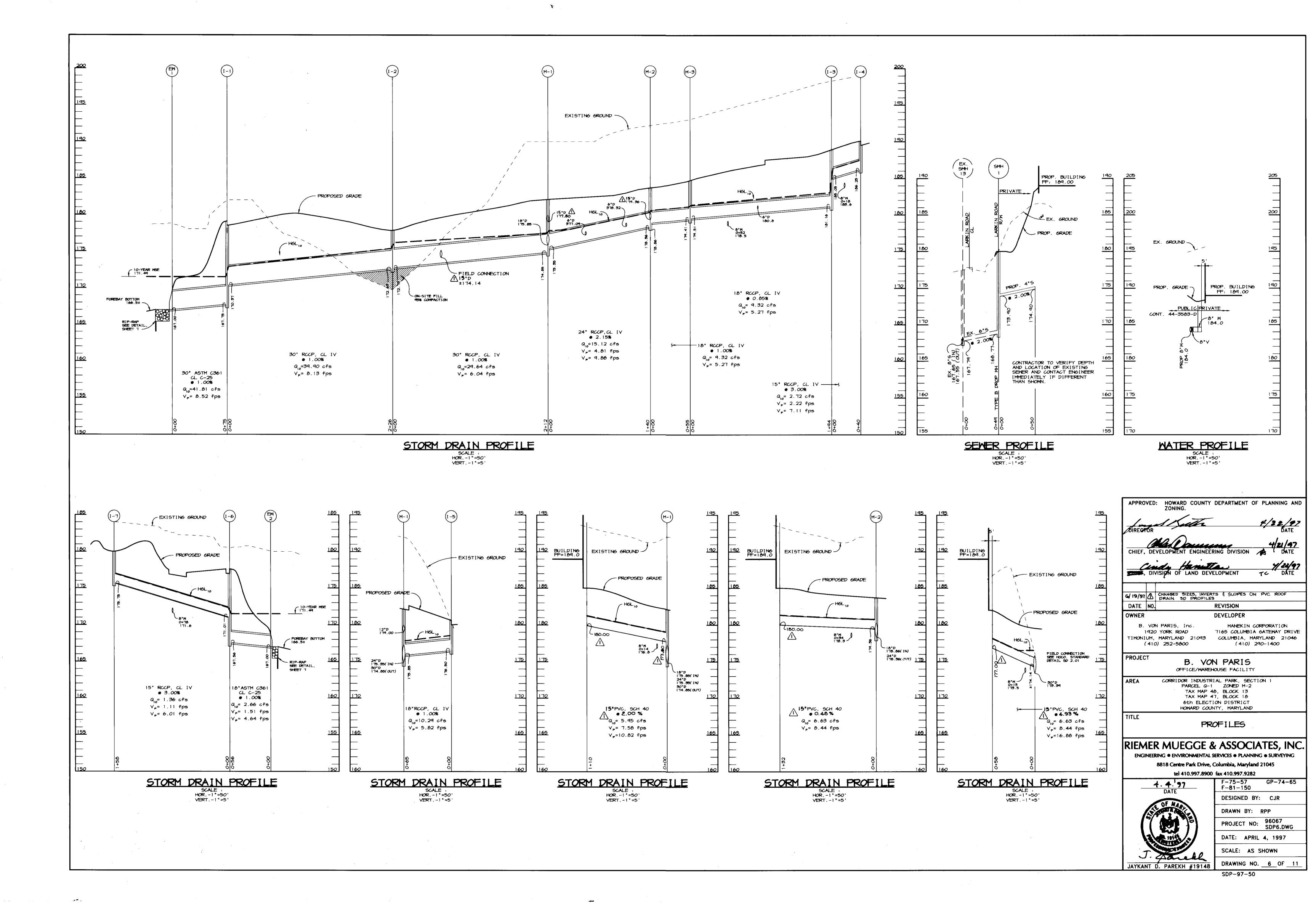
DRAWING NO. 7 OF 11

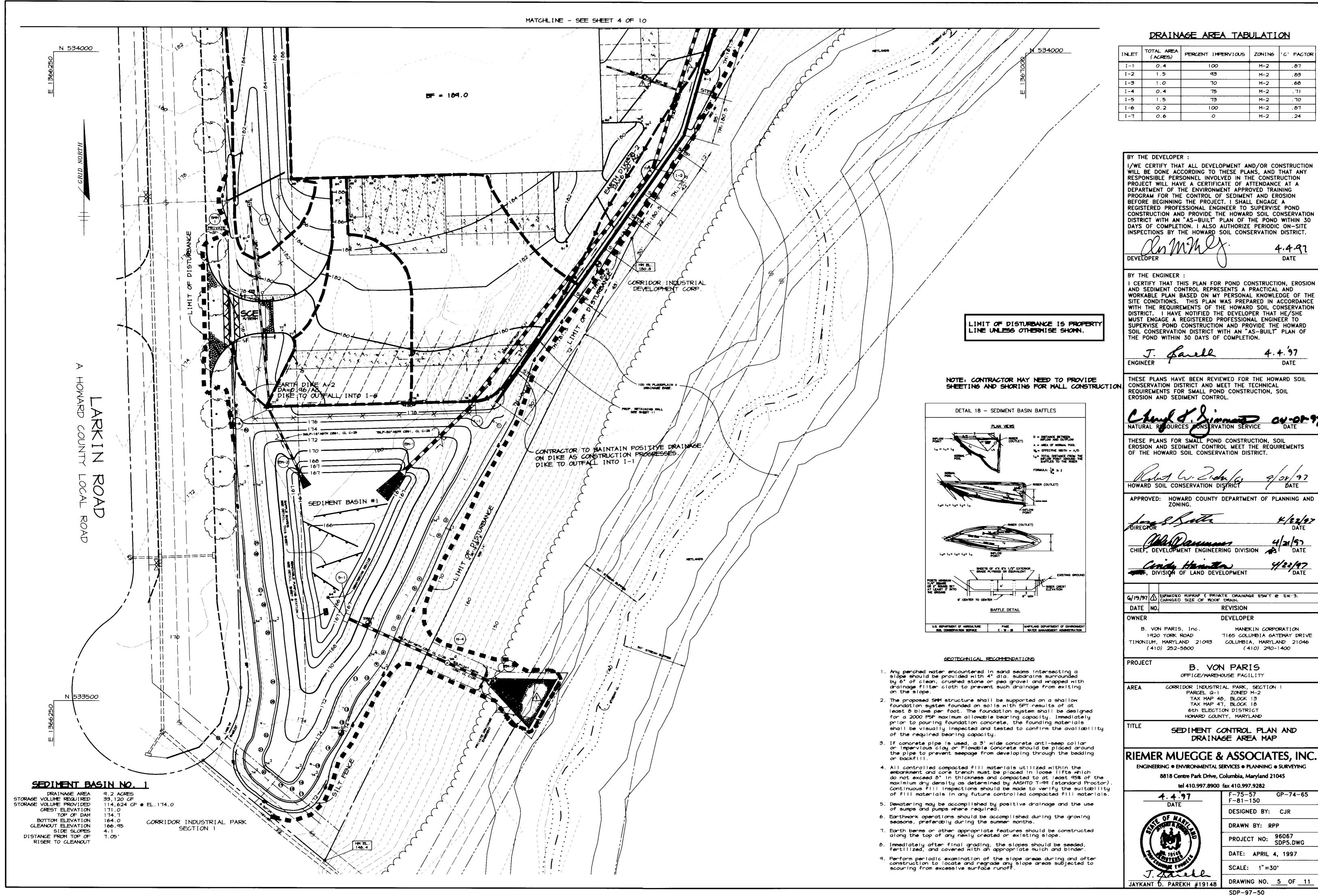
GP-74-65

(410) 290-1400

JAYKANT Ď. PAREKH #19148

F-75-57





INLET	TOTAL AREA (ACRES)	PERCENT IMPERVIOUS	ZONING	'C' FACTOR
1-1	0.4	100	M-2	.87
I-2	1.5	43	M-2	. 83
I-3	1.0	70	M-2	.68
I-4	0.4	75	M-2	.71
I -5	1.5	73	M-2	. 70
I -6	0.2	100	M-2	.87
I-7	0.6	0	M-2	. 24

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND

